



## 86 Springfield Way, Anlaby, HU10 6QJ

**£275,000**

This superbly presented semi-detached dormer bungalow affords spacious and versatile living accommodation arranged over two storeys and briefly comprises: enclosed entrance porch, entrance hall, principle bedroom, lounge, living / dining / kitchen and well appointed bathroom to the ground floor with two further bedrooms and a bathroom to the first floor.

There is a foregarden and provision for off street parking to the front of the property with a shared side driveway leading to a single garage and a landscaped, enclosed rear garden beyond.

The property has gas fired central heating and Upvc double glazing. Council Tax Band 'D'.

Located in close proximity to Haltemprice Leisure Centre, Morrisons Supermarket and Anlaby Retail Park together with local cafes, bars, restaurants, schooling and excellent transportation links.

An internal viewing is a must to fully appreciate the quality and wealth of accommodation afforded by this beautiful home.

## The Accommodation Comprises

### Front External



### Ground Floor

#### Enclosed Entrance Porch

An external composite entrance door with two obscured, frosted and leaded panel inserts with an obscured double glazed Upvc side light leads into the enclosed entrance porch. Having a wood effect laminate finish to the floor, a recessed spotlight to the ceiling and a double glazed panelled Upvc inner entrance door leading into the entrance hall.

#### Entrance Hall



Having a central heating radiator, a grey wood effect laminate finish to the floor, coving and recessed spotighting to the ceiling and where a flight of stairs lead to the first floor accommodation.

**Bedroom One 11'8" x 9'10" (maximum) (3.57m x 3.00m (maximum))**



Having fitted twin double wardrobes with high-level storage cupboards and double bed recess in between, a central heating radiator, coving to the ceiling and a Upvc double glazed window to the front elevation.

**Lounge 14'11" x 13'3" (4.55m x 4.04m)**



The focal point of the room being the feature fireplace with marble effect surround, back and hearth with recess to the chimney breast and inset wood burning stove. There is a central heating radiator, coving to the ceiling and a Upvc double glazed window to the front elevation.

**Living / Dining / Kitchen**

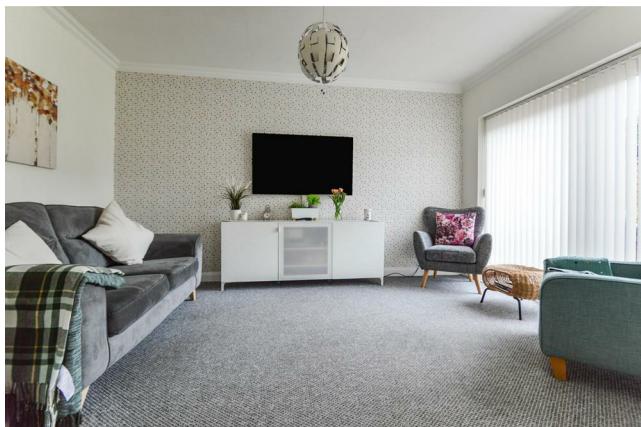


Dining Kitchen Area 19'2" (maximum) x 10'11" (maximum) (5.86m (maximum) x 3.34m (maximum))



Being fitted with a comprehensive range of quality units in a gloss finish in cream with brushed steel effect fittings comprising: wall mounted eye-level units, drawers and base units with a complementary fitted marble effect worksurface over incorporating a stainless steel single sink and drainer unit with mixer tap. There is a matching fitted breakfast bar with seating area and having space for a tumble dryer and plumbing for an automatic washing machine below. An integrated 'Bosch' electric oven, an integrated 'Hoover' microwave, a 'Hoover' four ring gas hob with stainless steel splashback to the wall and a 'Hoover' stainless steel extractor canopy hood above. , space for an 'American' style fridge freezer, a central heating radiator, a Upvc double glazed window to the rear elevation, an obscured double glazed panelled Upvc entrance door to the rear elevation, a marble effect splashback finish to the walls in part, a grey wood effect laminate finish to the floor and coving and recessed spotighting to the ceiling.

Living Area 14'2" x 9'8" (4.34m x 2.96m)



Having a central heating radiator, coving to the ceiling and Upvc double glazed sliding patio doors to the rear elevation.

Bathroom 10'1" x 7'3" (3.08m x 2.23m)



Being fitted with a four piece suite in white comprising: curved corner shower enclosure with sliding glazed doors and a mains shower, a panelled bath with mixer tap incorporating a hand held shower attachment, a vanity wash basin with mixer tap and fitted cabinet below and a low level W.C. suite with push flush. There is a traditional style central heating radiator, obscured double glazed Upvc windows to both the side and rear elevations, an extractor fan unit, a slate tile effect laminate finish to the floor and a tiled splashback finish to the walls in part.

First Floor Accommodation

Landing

Bedroom Two 12'2" (to 10'7") x 10'7" (3.71m (to 3.25m) x 3.23m)



Having a central heating radiator and a Upvc double glazed window to the front elevation.

Bedroom Three 11'7" (maximum to 8'9") x 9'3"  
(3.54m (maximum to 2.69m) x 2.84m)



Having a central heating radiator, coving to the ceiling and a Upvc double glazed window to the rear elevation.

Bathroom 12'10" x 5'3" (3.93m x 1.61m)



Being fitted with a three piece suite in white comprising: panelled bath, a pedestal wash basin and a low level W.C. suite with push flush. There is a double glazed 'Velux' style window to the front elevation, a fitted storage cupboard within the eaves, a chrome effect ladder style radiator, an extractor fan unit, a tiled splashback finish to the walls in part and a waterproof covering to the floor.

External



To the front of the property there is a provision for off street parking with areas laid to paving and decorative aggregates together with a further area laid to lawn and having decorative fencing to the side and front boundaries. A shared driveway to the side of the property leads to a single garage and the rear garden beyond.

The enclosed rear garden has various zonal areas laid to paved patio seating, concrete, decorative aggregates, slate chippings, bark and wood chippings, with a range of planting, mature trees, and a timber built garden store shed. There is timber fencing to the boundaries, an outside cold water tap and lighting.

**Garaging**

Single garage with up-and-over access door and having both power and lighting.

**Tenure**

The Tenure of this property is Freehold.

**Council Tax Band**

Council Tax Band 'D'.

Local Authority - East Riding of Yorkshire.

**Free Market Appraisals / Valuations**

We offer a free sales valuation service, as an Independent company we have a strong interest in making sure you achieve a quick sale. If you need advice on any aspect of buying or selling please do not hesitate to ask.

**Agents Notes**

Services, fittings & equipment referred to in these sale particulars have not been tested ( unless otherwise stated ) and no warranty can be given as to their condition. Please note that all measurements are approximate and for general guidance purposes only.

**Additional Services**

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We are legally obliged to advise a vendor of any additional services a buyer has applied to use in connection with their purchase. We will do so in our memorandum of sale when the sale is instructed to both parties solicitors, the vendor and the buyer.

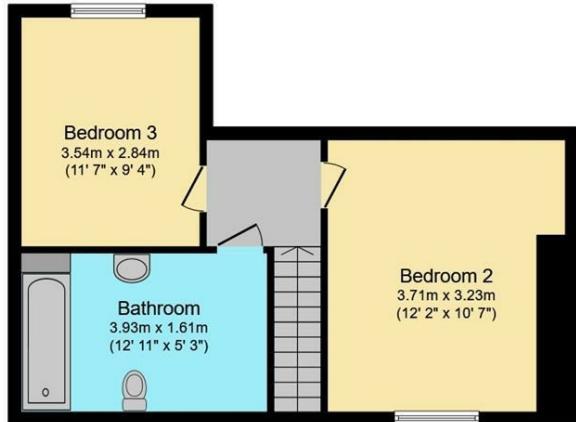
**Whitakers Estate Agent Declaration**

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## Floor Plan



Floor area 87.6 sq.m. (943 sq.ft.) approx



Floor area 47.9 sq.m. (515 sq.ft.) approx

Total floor area 135.5 sq.m. (1,458 sq.ft.) approx

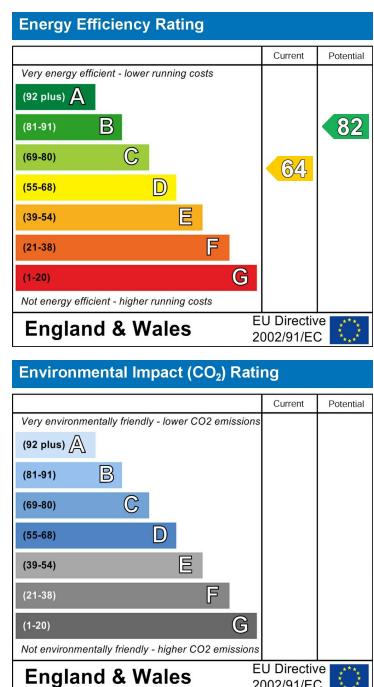
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## Area Map



## Energy Efficiency Graph



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